

24 Holland Road

BH2021/03761



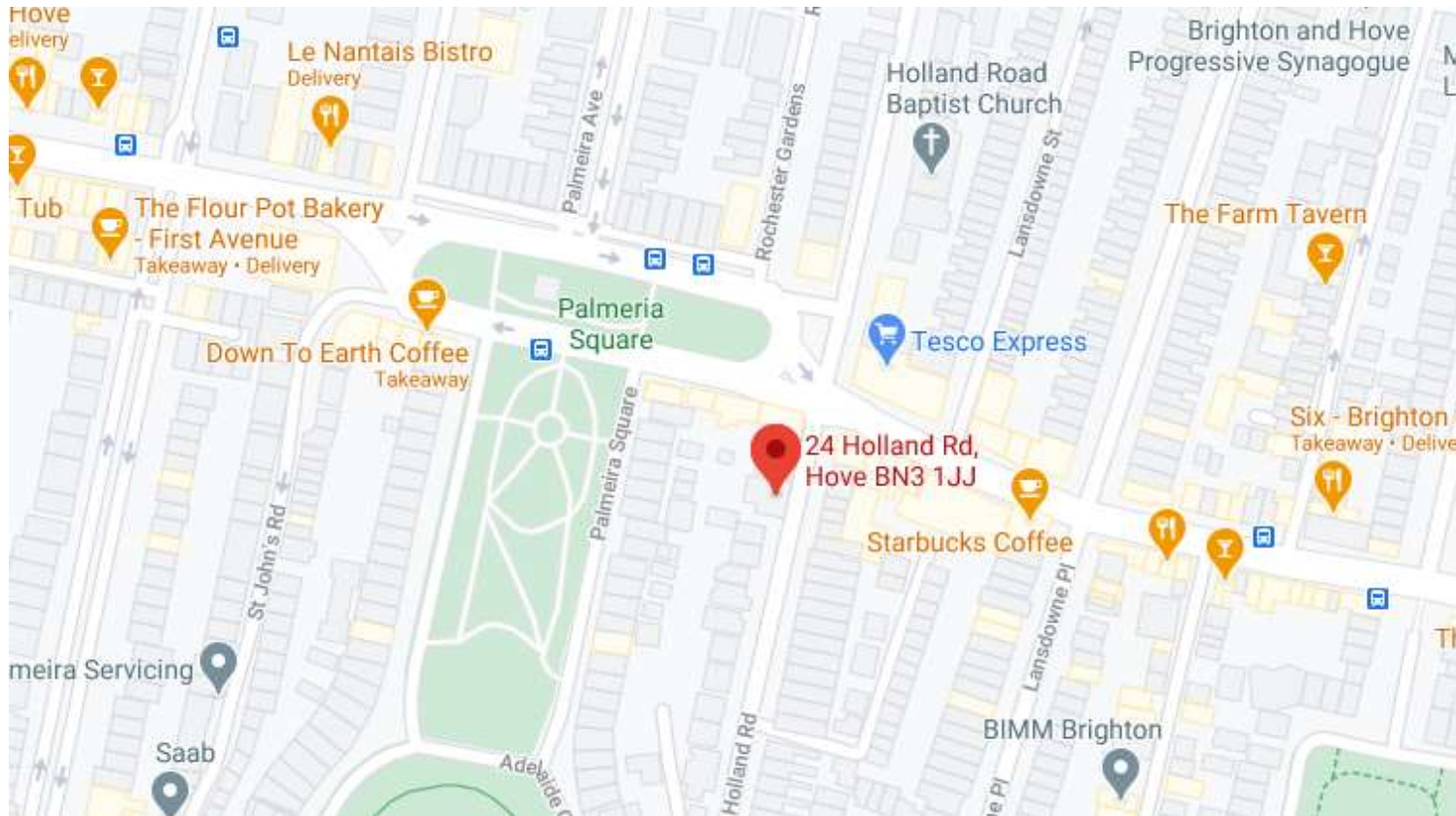
**Brighton & Hove
City Council**

Application Description

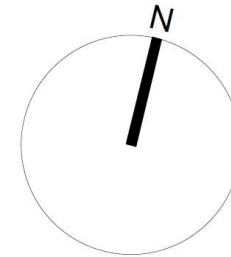
- Change of use from Language School (F.1) to Hotel (C1), with associated works.



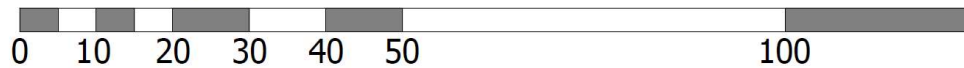
Map of application site



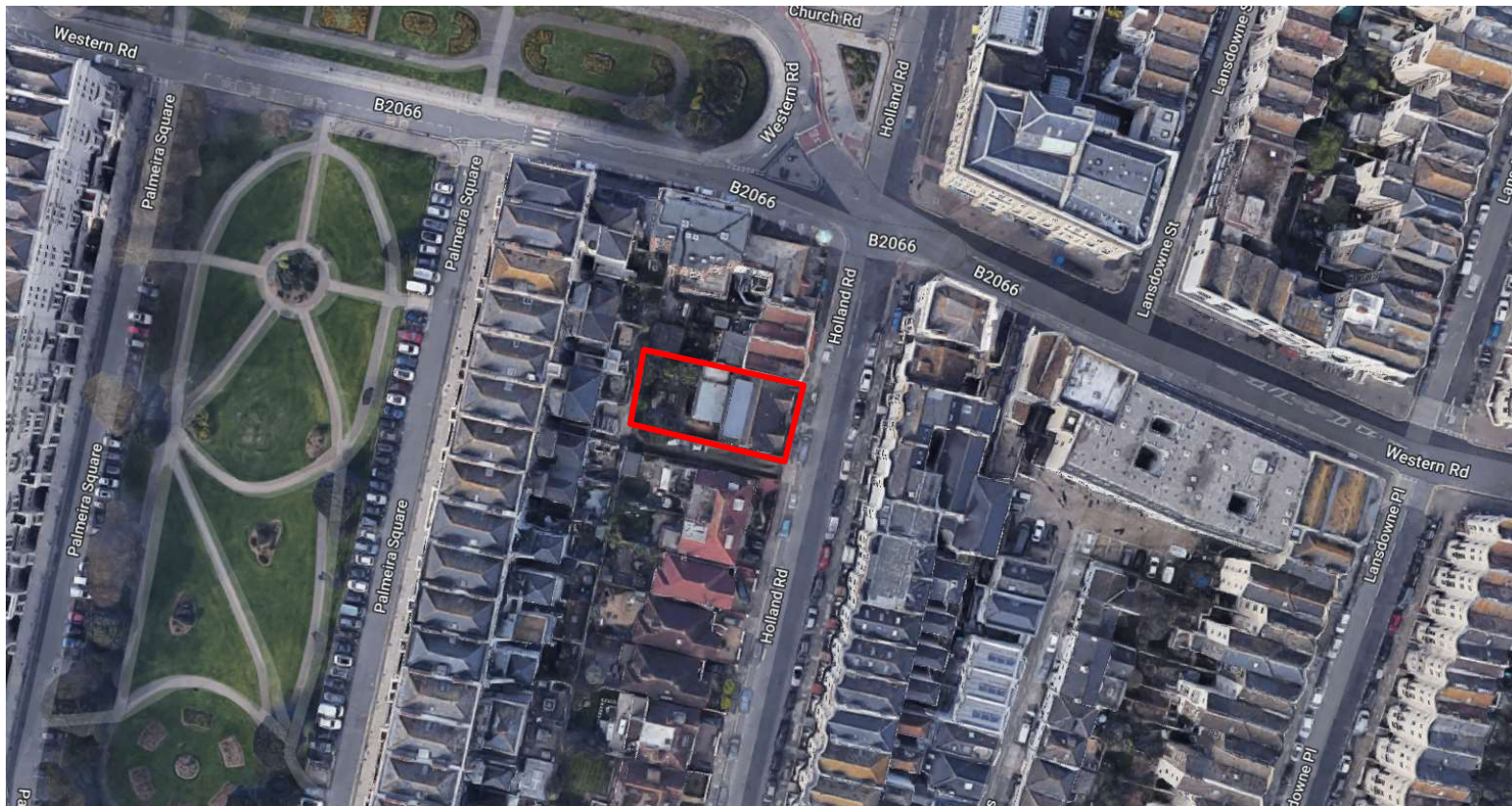
Location Plan



Scale in Metres



Aerial photo(s) of site



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3D Aerial photo of site



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Street photo(s) of site



Other photos of site – south side elevation



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Other photos of site – rear garden



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Block Plan



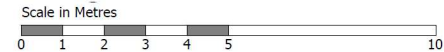
1:500 @ A3
Scale in Metres
0 5 10 15 20 30 40 50



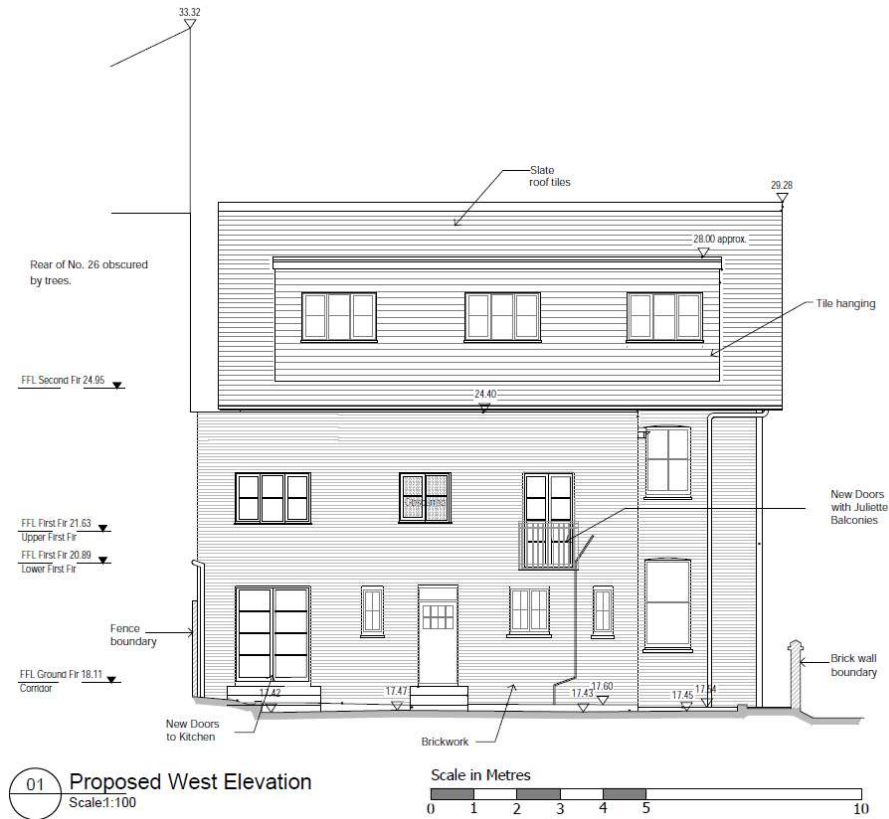
Proposed Front Elevation



01 Proposed East Elevation
Scale: 1:100



Proposed Rear Elevation

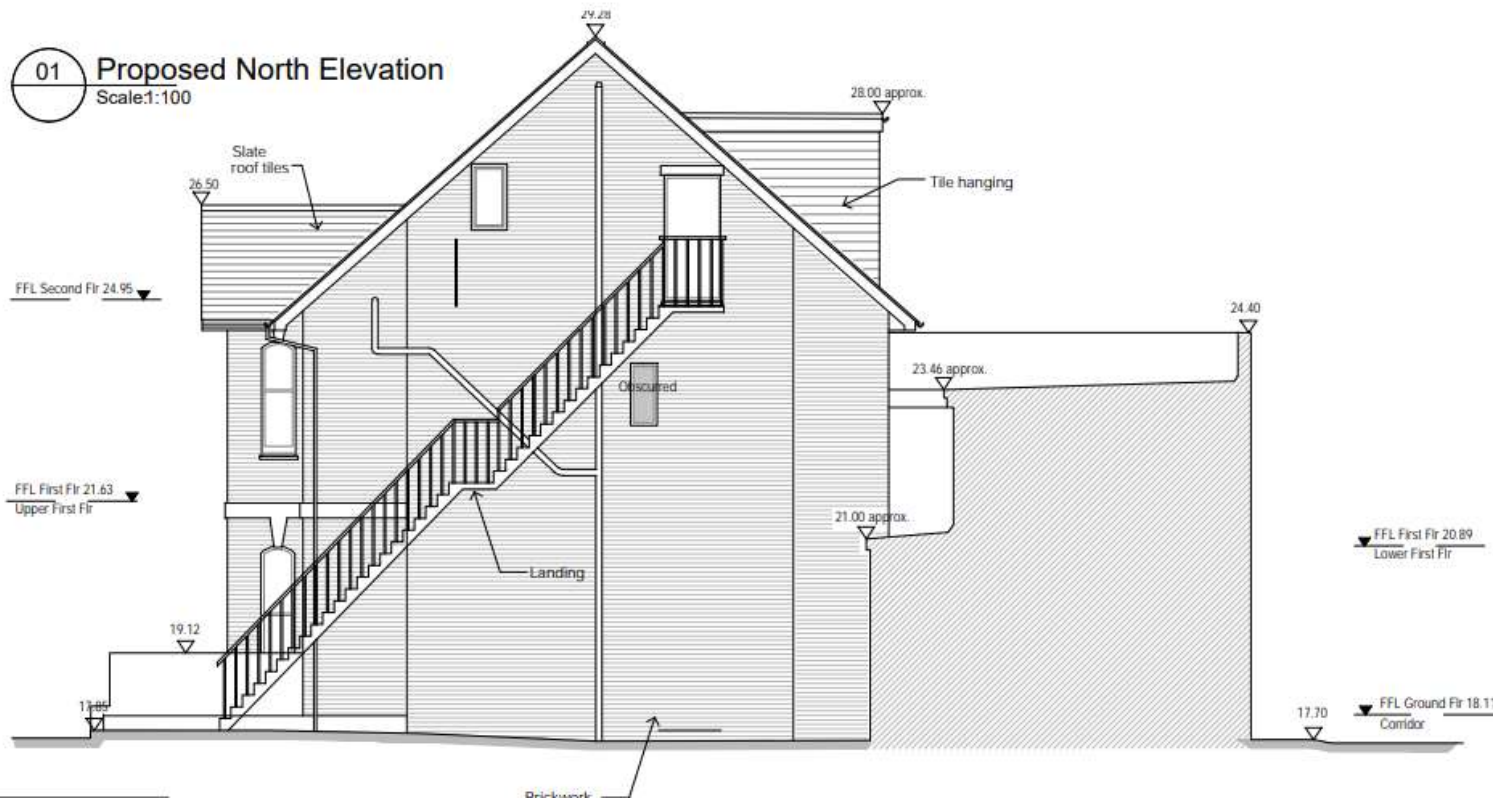


Proposed Side Elevation

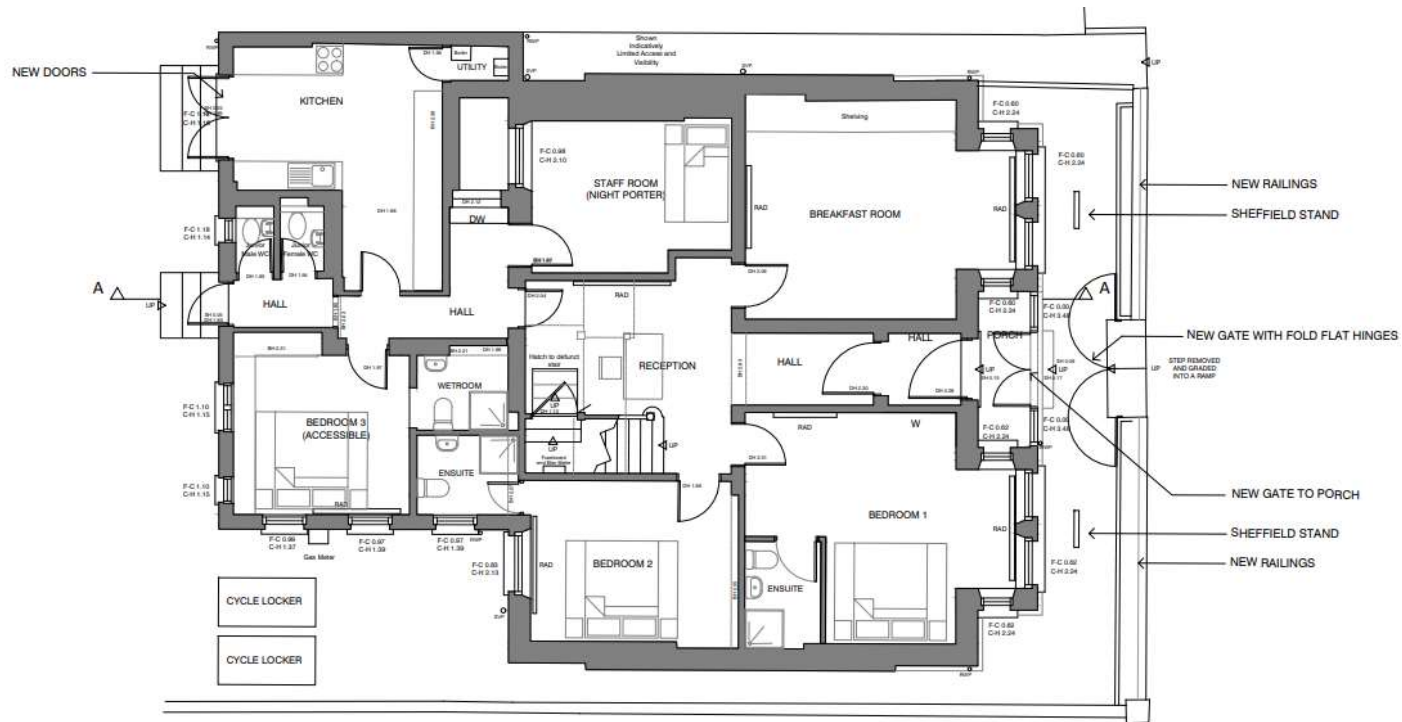


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Proposed Side Elevation



Proposed Ground Floor Plan



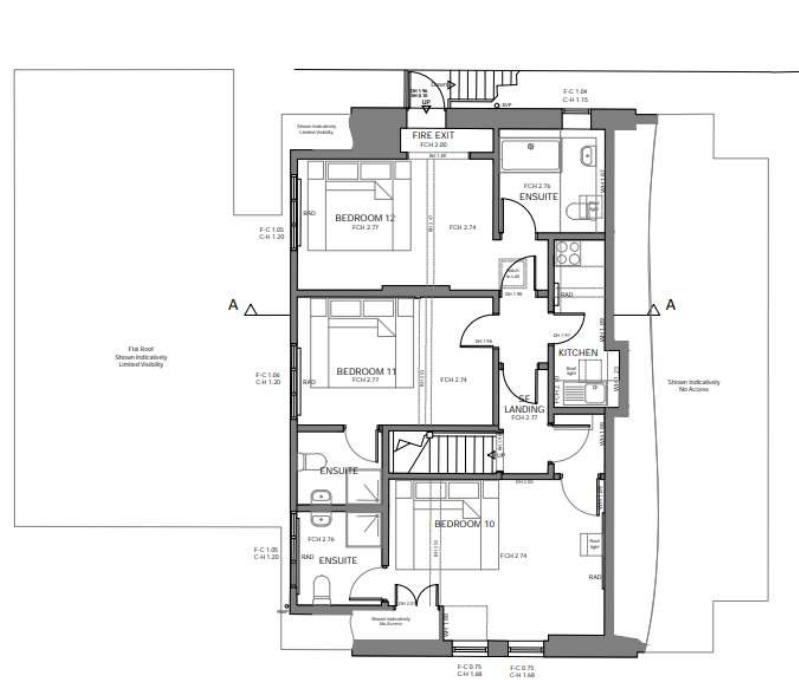
01 Proposed Ground Floor Plan
Scale:1:100

Proposed First Floor Plan



01 Proposed First Floor Plan
Scale:1:100

Proposed Second Floor Plan



01 Proposed Second Floor Plan
Scale:1:100



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Key Considerations in the Application

- Principle of the development
- Design and appearance
- Impact upon neighbouring amenity
- Sustainable transport



Conclusion and Planning Balance

- The proposed change of use is considered acceptable in principle. The loss of the language school has previously been accepted against Policy HO20, and a Hotel Impact Assessment has been provided to satisfy the requirements of Policy CP6.
- The recent appeal allowing an application for for visitor accommodation (use class Sui Generis) on the site must be given weight.
- No objection is raised to the proposed external alterations.
- No significant impact upon neighbouring amenity is anticipated.
- Transport impact is overall acceptable, subject to securing a Delivery and Service Management Plan and revised cycle parking details by condition.
- Approval is therefore recommended, subject to conditions.

